

The background of the entire page is a light gray color with several stylized ginkgo leaves scattered across it. Each leaf is composed of numerous fine, parallel lines that radiate from a central point, creating a fan-like shape with a slightly wavy edge. The leaves are rendered in a light gray tone, matching the background, which gives the overall design a subtle, textured appearance.

ZEN

MODERN TOWNS FOR MODERN LIVING



Rendering is artist's concept and is subject to change. Illustration may show optional features which may not be included in the base price. See sales representatives for more information. E. & O. E.



DISCOVERY

What does it really mean to be ZEN?

ZEN is a state of calm attentiveness in which one's actions are guided by intuition rather than by conscious effort, a meditative practice and attitude of acceptance.

Embrace simplicity and discover your ZEN, discover a place to call home where you can completely detach from stress, connect back to nature and finally realize the harmony of true balance in daily life.

ZEN TOWNHOMES CAMBRIDGE



PHILOSOPHY

Our philosophy is one of balance. Balance between the modern and the traditional and balance between city and nature. To enter ZEN is to be embraced by an ambiance that is completely tranquil. Step off the loud, hectic city streets into your own little sanctuary of bliss where any worries or anxiety will instantly dissolve.

ZEN modern urban towns are intuitively designed and organically inspired for those who seek beauty and relaxation without compromising city-living. Allow yourself to succumb to tranquility and be pampered in style, sophistication and all the comforts you deserve.

FIND YOUR ZEN

PRIVATE ROOFTOP TERRACE



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SITEPLAN

TOWNHOME UNIT LEGEND	
	Adair
	Brynn
	Camellia
	Modified see sales rep for more details

Site plan is artist's concept. Dimensions are approximate and depend on final survey. Landscape is concepts only and may vary from finished landscape. See sales rep. for details. E. & O. E.





REJUVENATE

Intimate, unpretentious, outstanding and just off the beaten path of activity and urban hustle lies the calming and grounding environment of ZEN. It's a unique atmosphere of relaxation where residents can unwind and rejuvenate the mind and body by simply being at home.

With Dumfries Conservation Area in your backyard and Highway 24 at your doorstep, ZEN honours the notions of home, identity and community combined. Here you can enjoy a stunning setting, beautiful conservation views and the ultimate array in amenities and lifestyle experiences.

FIND YOUR PURPOSE



5 MIN. TO 401 & 1 HOUR WEST OF TORONTO

arrive

You've arrived at a place of peace, a place where your every need is within reach. Make commuting a breeze with immediate access to the 401 or leave the driving to someone else when you hop on the future LRT. With shopping centres and dining options surrounding you, life at ZEN provides every convenience imaginable to help you breathe easier.



1 DUMFRIES CONSERVATION AREA



16 HOME DEPOT, LOWE'S & CANADIAN TIRE



DRIVING RANGE



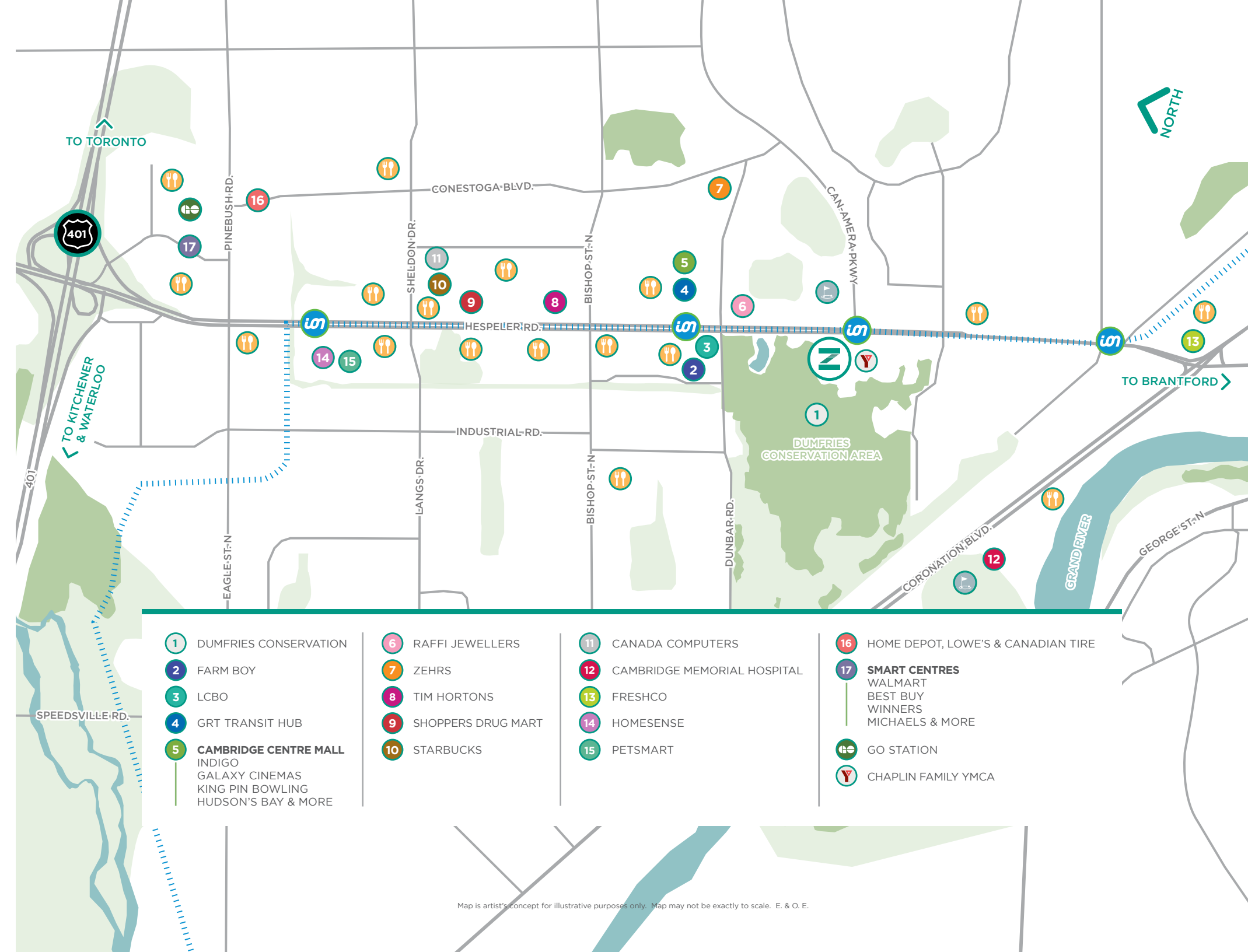
2 EVERYDAY FRESH AT FARM BOY



DOZENS OF RESTAURANTS & BREWERIES



FUTURE LRT AT YOUR DOORSTEP



Map is artist's concept for illustrative purposes only. Map may not be exactly to scale. E. & O. E.



explore



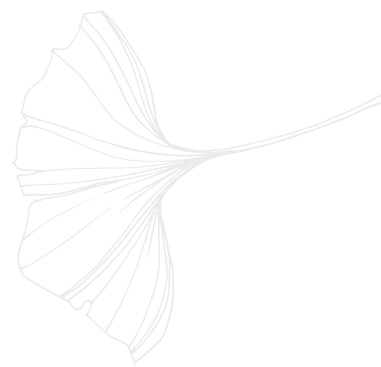
To merely exist is not enough. This life is to be experienced with a joy and youthful eagerness reborn each day. ZEN's location offers you immediate access to every amenity imaginable. Dumfries Conservation Area is your backdrop. Here you will enjoy 75 acres of protected nature reserve that features plantation and mature forests, wetlands and marsh, walking and biking trails.





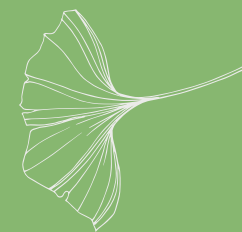
play

Life at ZEN provides you the opportunity to be a part of the neighbouring YMCA. Their mission as a charity is to make our diverse community healthier and more vibrant. The 80,000 square foot centre has been part of the Cambridge community since 1996, providing programs and services that inspire individuals to reach their full potential.



PROGRAMS & SERVICES AVAILABLE

- Fitness Centre with a variety of cardio and weight training equipment complemented by a large weights and plates and stretching area
- Wellness Centre on the main floor with a variety of wheelchair accessible cardio and strength equipment.
- Group Fitness Studio equipped with Keiser Indoor Bikes
- Gymnasium with 2 badminton courts, 1 volleyball court, 6 basketball hoops and a rubberized sport floor.
- Indoor Track with rubberized surface - 3 lanes, 70 metres.
- Racquet Sports with 4 convertible courts, 3 squash and 1 racquetball
- Aquatic Centre featuring a 25m, 6 lane pool, 101-foot slide and a 100 sq. ft leisure pool with warm water and whirlpool.
- Adult-only locker room with hot tub and sauna
- Towel Service
- Group Fitness Classes
- Personal Training
- Health Management Programs
- Recreational Sports
- Aquatic Fitness
- Swimming Lessons
- Kids Zone
- Recreational Swims
- Children's Recreational Sports
- Play Care Child-Minding Service
- Summer Day Camps



ATMOSPHERE

Design influence and architecture are rooted in the same simplicity and reverence for nature and sublime style. Sleek exteriors offer a refreshing take on modern style.

The ZEN approach to beauty is subtle yet strong. Discover your personal oasis of relaxation and rejuvenation where chic décor blends Eastern influences with contemporary touches in gracious living spaces.

Whether you're relaxing in your den with a warm tea or sun soaking on your private rooftop terrace with a crisp chardonnay before you retire for the day, you will feel at peace in enviable interiors and soothing surroundings.

FIND YOUR PLACE



adorn

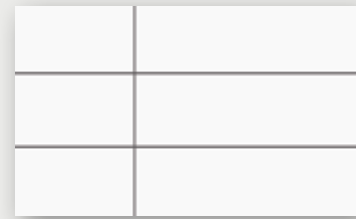
Escape and rejuvenate with inspiring clean and crisp interior selections that create an open and inviting aura to every space.



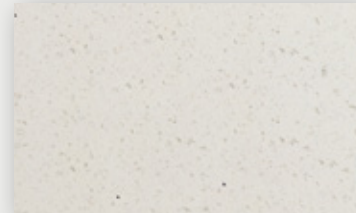
FINISHES PACKAGE 1



KITCHEN BACK-SPLASH



KITCHEN & BATHROOM COUNTERTOPS



BATHROOM & KITCHEN LOWER CABINET



KITCHEN UPPER CABINET



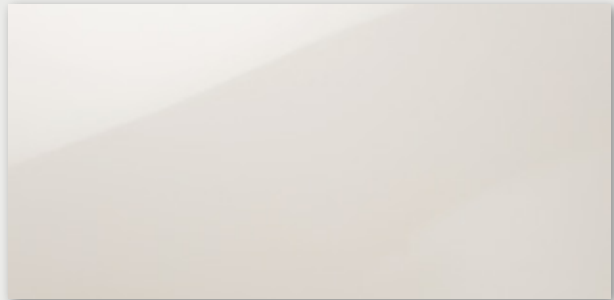
ENSUITE WALLS & FLOOR TILE



MAIN BATH, GROUND FLOOR, POWDER, & TOP FLOOR TILE



MAIN BATHROOM WALLS



HARDWOOD FLOORING



Materials and colours subject to change without notice. See sales representatives for details. E. & O. E.

FINISHES PACKAGE 2



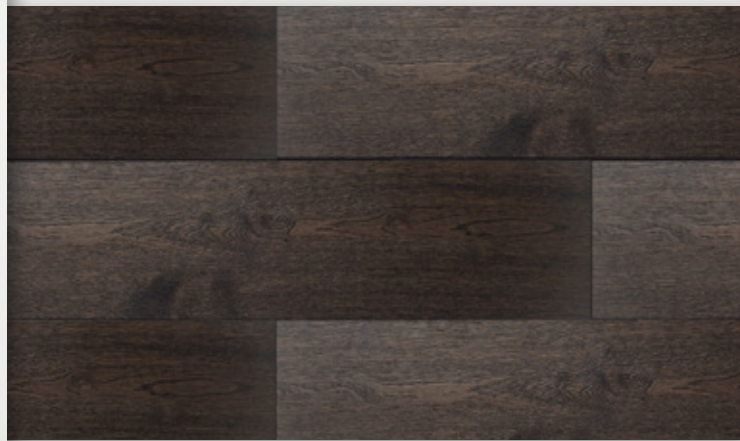
BATHROOM & KITCHEN LOWER CABINET



KITCHEN UPPER CABINET



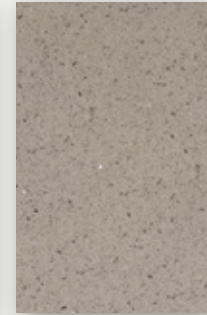
HARDWOOD FLOORING



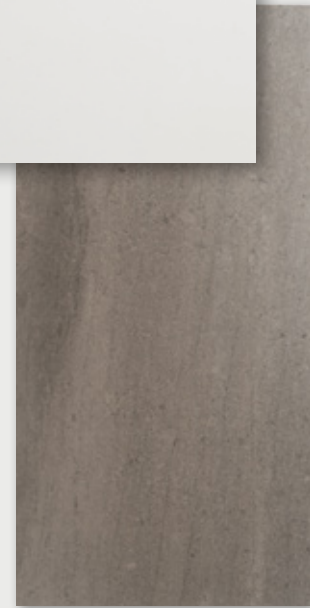
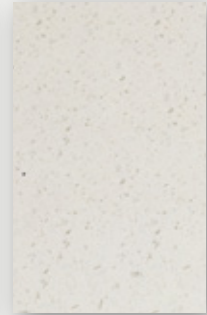
KITCHEN BACK-SPLASH



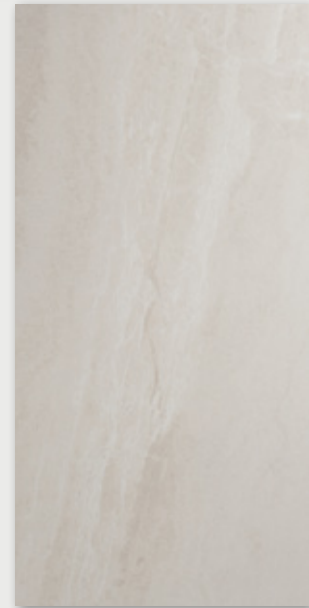
KITCHEN COUNTERTOP



BATH COUNTERTOP



MAIN BATH, GROUND FLOOR, POWDER, & TOP FLOOR TILE



ENSUITE WALLS & FLOOR TILE



MAIN BATHROOM WALLS

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FINISHES PACKAGE 3



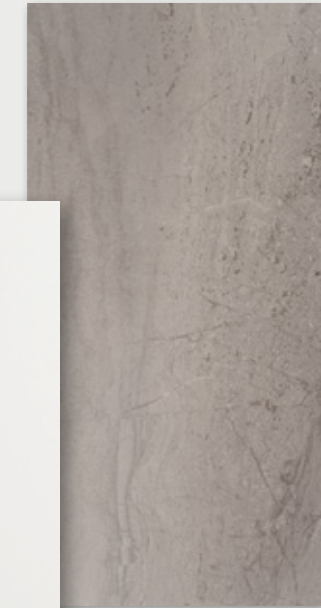
KITCHEN UPPER CABINET



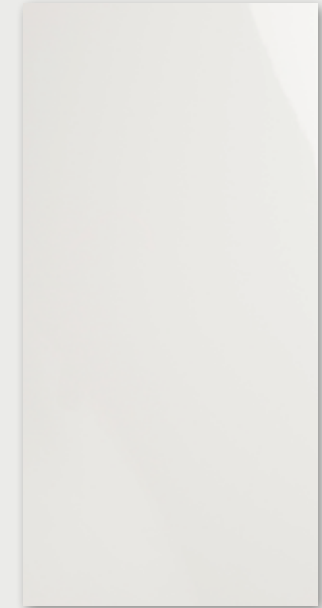
BATHROOM & KITCHEN LOWER CABINET



MAIN BATH, GROUND FLOOR, POWDER, & TOP FLOOR TILE



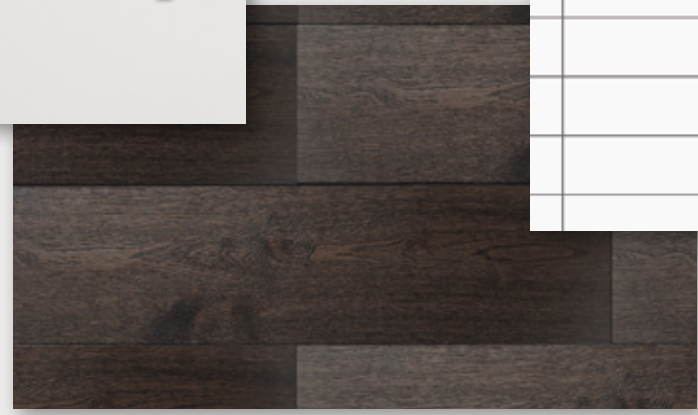
MAIN BATHROOM WALLS



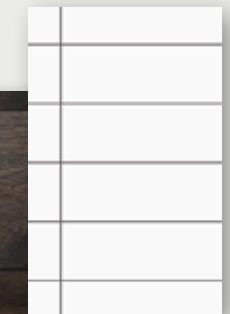
ENSUITE WALLS & FLOOR TILE



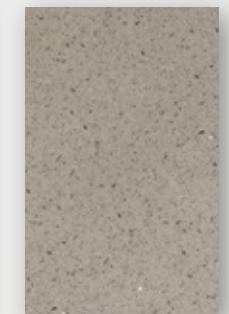
HARDWOOD FLOORING



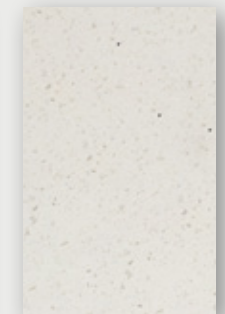
KITCHEN BACK-SPLASH



KITCHEN COUNTERTOP



BATH COUNTERTOP



Materials and colours subject to change without notice. See sales representatives for details. E. & O. E.

STANDARD FEATURES

EXTERIOR	INTERIOR	KITCHEN	MAIN & ENSUITE BATHROOM
<ul style="list-style-type: none"> Exterior walls to be brick clad, with accent details in other materials, as per Vendor's predetermined architectural colour schemes & as per plan Exterior light fixtures at entry porch, garage & rooftop terraces Interlocking front entry walkways & asphalt driveway Precast slabs & steps at rear patio door (as required) Energy Star certified double-pane windows Approx. 8' high steel front entry door. Concrete front porch Single car garage with EV rough-in, plus 1 additional parking space on driveway Convenient cold water hose bib in garage and at rear with winter shutoff valve Aluminum soffits, fascia, eavestroughs & downspouts Professionally graded & sodded lot 	<ul style="list-style-type: none"> Smooth ceiling finish throughout Ceiling height approximately 8'0" on ground floor & 9'0" on main & upper floors, as per model type Potlights in hallways, staircases & kitchen Tile in foyer, powder room, main & ensuite bathrooms Engineered hardwood flooring throughout except wet areas Stained oak stairs, handrails & spindles Low VOC latex paint 5.5" painted MDF baseboards 2.5" painted MDF door trims 	<ul style="list-style-type: none"> Modern style kitchen cabinets, doors & handles Kitchen island with breakfast bar as per plan Soft-close mechanism on doors & cabinet drawers Under-cabinet LED valance lighting Composite quartz countertops Tiled backsplash Undermount stainless steel double sink Single lever kitchen faucet with pull-down sprayer 	<ul style="list-style-type: none"> Modern style vanity cabinet with composite quartz countertop Vessel sink Single-lever faucet High-efficiency low flow toilet Modern acrylic bathtub (Main) Chrome single lever fixture with tub filler spout & eco-performance showerhead (Main) Modern style acrylic shower base with glass shower door (Ensuite) Chrome single lever fixture with eco-performance showerhead (Ensuite) Vanity mirror & lighting Exhaust fan vented to exterior
		KITCHEN APPLIANCES	
		<ul style="list-style-type: none"> 30" Stainless steel refrigerator 30" Stainless steel slide-in electric smooth-top cooking range & oven 30" Stainless steel chimney-style exhaust hood fan 24" Stainless steel dishwasher 	
PRIVATE ROOFTOP TERRACES	LAUNDRY	MECHANICAL	POWDER ROOM
<ul style="list-style-type: none"> One or two spacious private rooftop terraces as per model type Composite deck flooring throughout Aluminum safety railings with glass inserts Privacy screen panels between units as per model type Gas BBQ connection Convenient cold water hose bib with winter shutoff 	<ul style="list-style-type: none"> Stacked washer & dryer Independent water shut-off valve 	<ul style="list-style-type: none"> High-efficiency HVAC (Heating/Ventilation/Air-Conditioning) system with HRV (Heat Recovery Ventilator) Tankless water heater Programmable thermostat Water softener CO & smoke detectors Fibre to the home technology 100-amp service (upgradeable to 200 amp by user) Electrical outlet(s) provided in garage 	<ul style="list-style-type: none"> Pedestal sink & single lever faucet Vanity mirror & lighting High-efficiency low flow toilet Exhaust fan vented to exterior

Specifications & suppliers subject to change without notice. E. & O. E OCTOBER 2022

A GLIMPSE INSIDE...



ROOFTOP TERRACE

Private & personal rooftop terrace with composite decking, glass rails, and privacy screens between each unit as per model type.

PRIMARY BEDROOM

Primary bedroom offers spacious ensuite & walk-in closet as per plan.

BEAUTIFUL BEDROOMS

Three bedroom layout to best suit your lifestyle.

LIVING SPACES

Enjoy luxurious living in the spacious great room. Large windows fill your living environment with a natural glow.

DESIGNER KITCHEN

Modern or transitional colour palettes, elevated kitchen selections & designer finishes.

LOWER LEVEL

Every townhome features a lovely lower level nook perfect for home office or den.

GARAGE WITH ROOM

Every townhome features a single car garage with EV rough-in, plus 1 additional tandem parking space on driveway

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ADAIR | CAMELLIA Exterior Elevation



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ADAIR

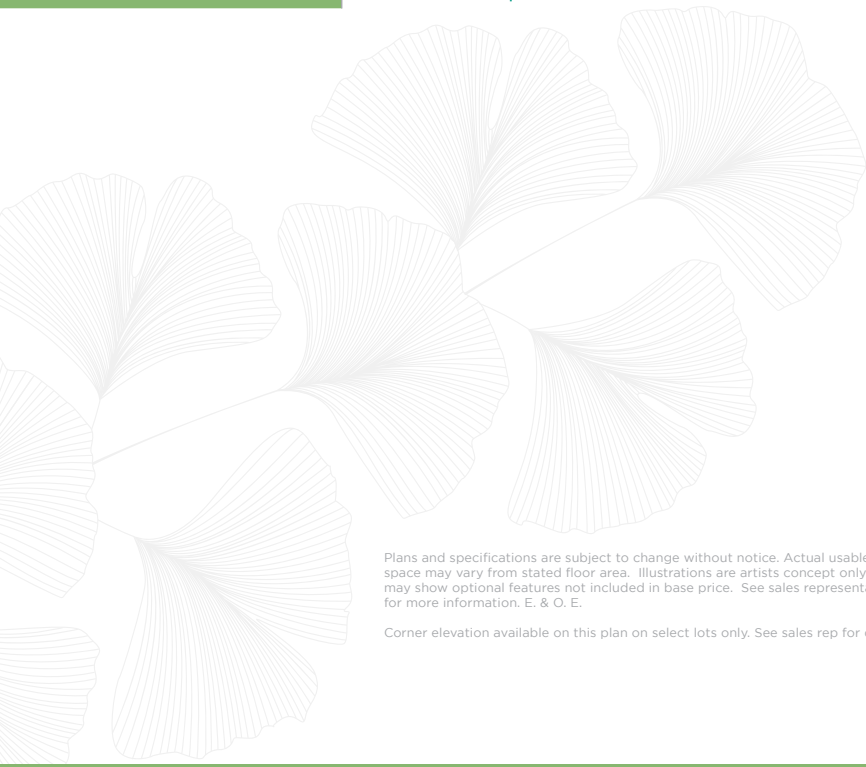
3 Bedroom | 2.5 Bathroom

INTERIOR UNIT

Suite	1884
Terrace	487
Total	2371 Square Feet

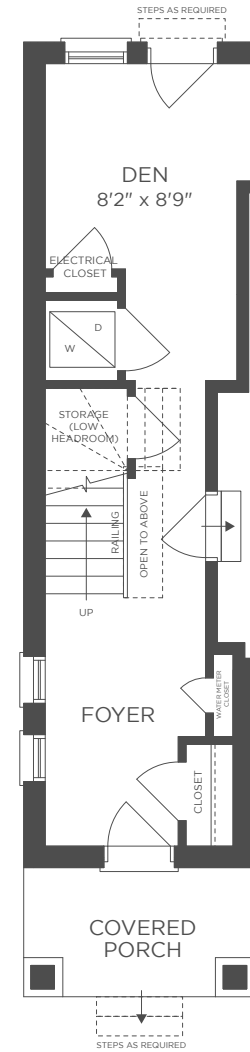
END UNIT

Suite	1932
Terrace	473
Total	2405 Square Feet

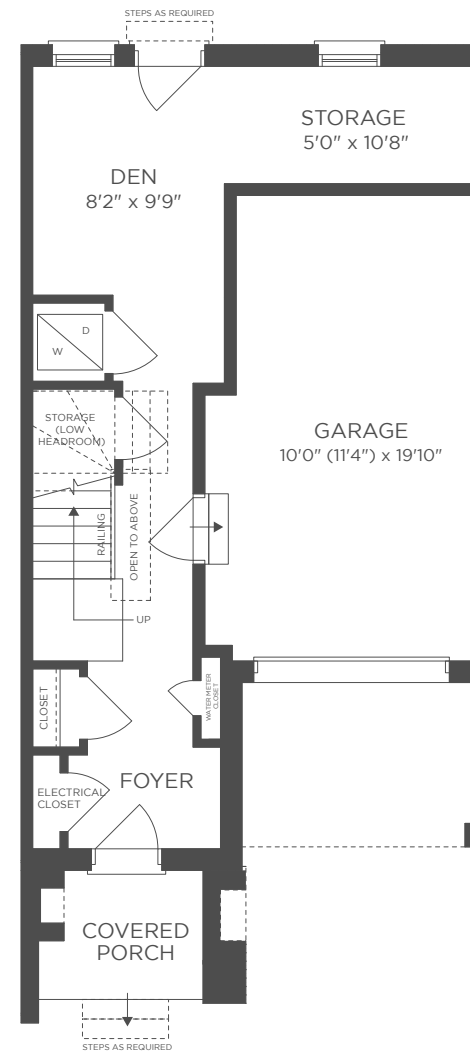


Plans and specifications are subject to change without notice. Actual usable floor space may vary from stated floor area. Illustrations are artists concept only and may show optional features not included in base price. See sales representative for more information. E. & O. E.

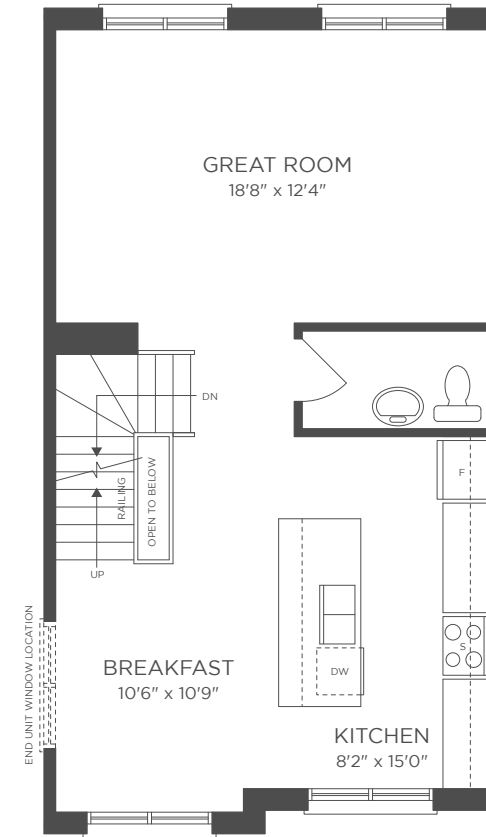
Corner elevation available on this plan on select lots only. See sales rep for details.



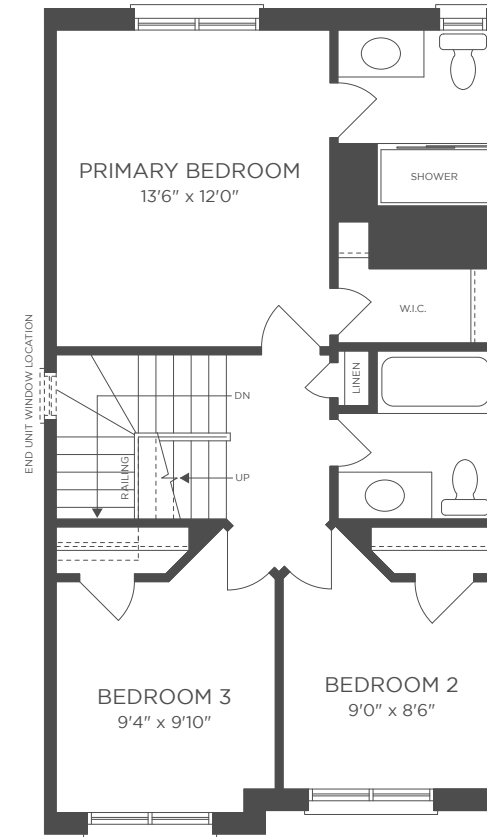
GROUND FLOOR - END UNIT



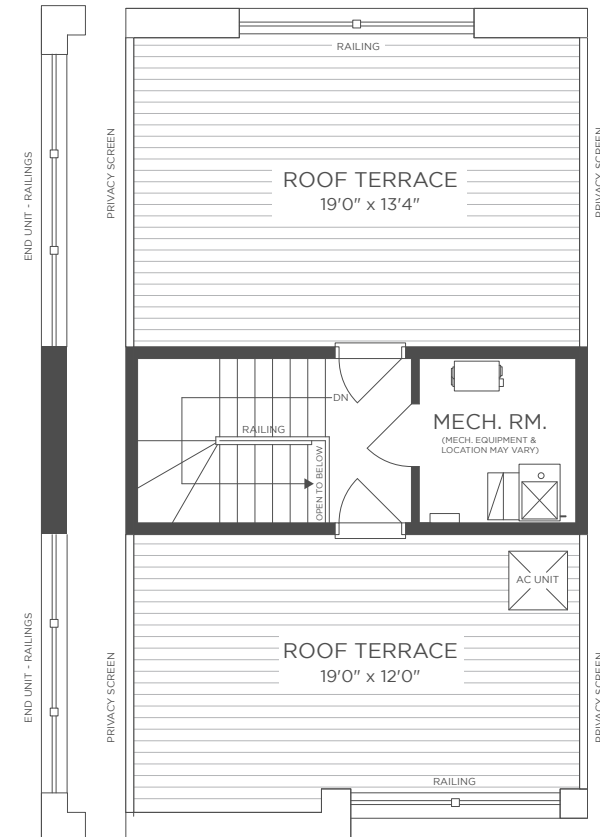
GROUND FLOOR



MAIN FLOOR



SECOND FLOOR



ROOFTOP TERRACE

CAMELLIA

3 Bedroom | 2.5 Bathroom

INTERIOR UNIT

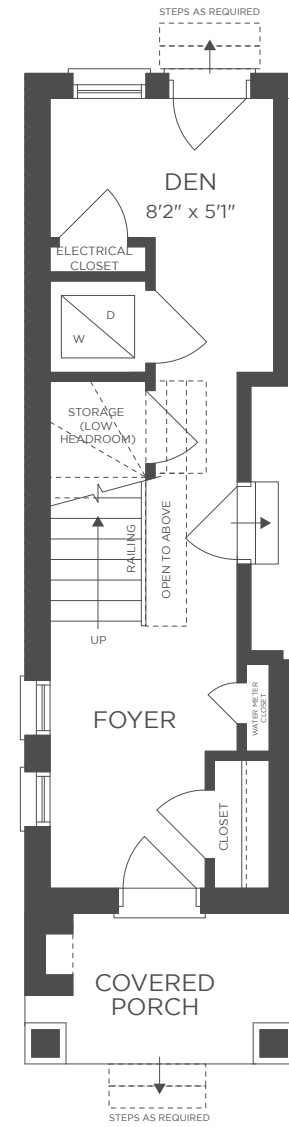
Suite	1601
Terrace	399
Total	2000 Square Feet

END UNIT

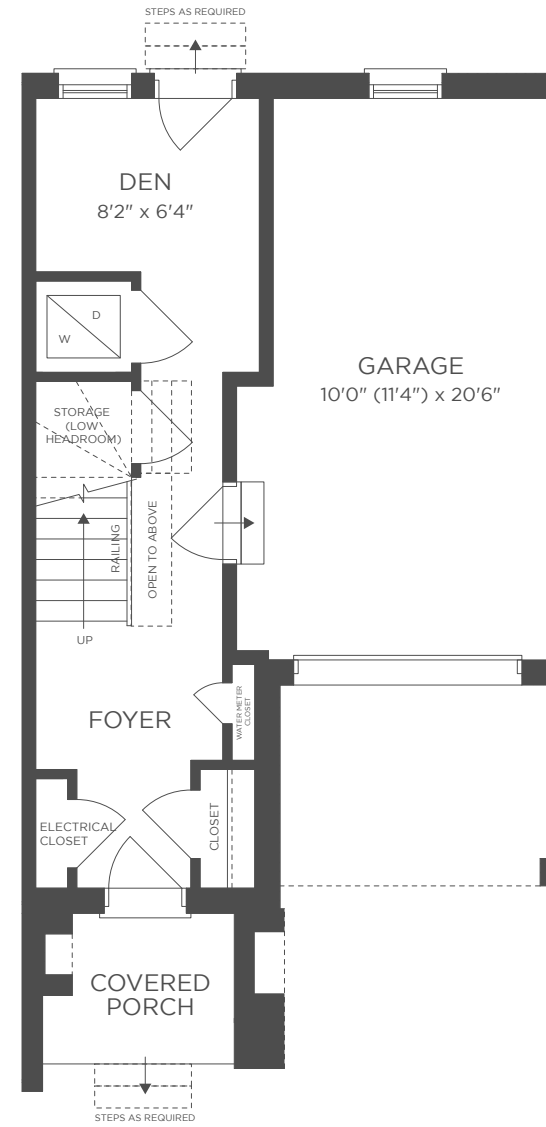
Suite	1644
Terrace	387
Total	2031 Square Feet



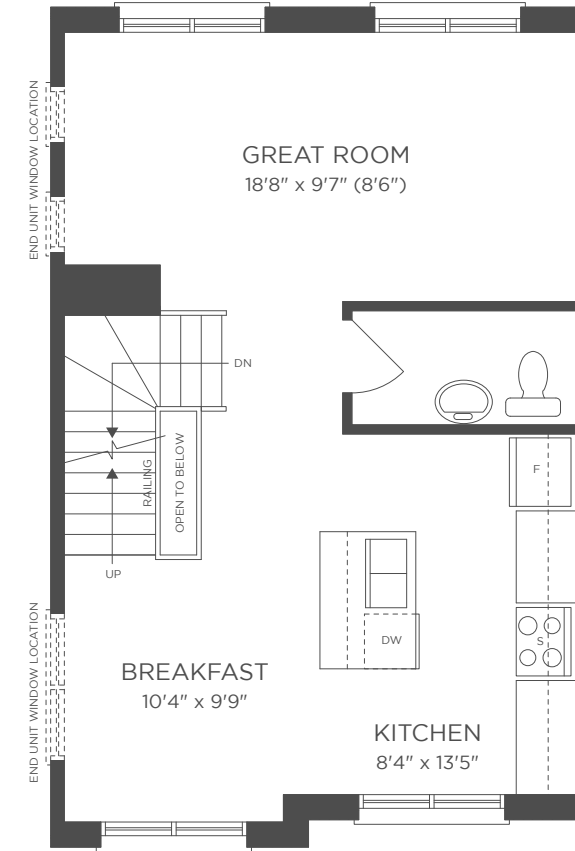
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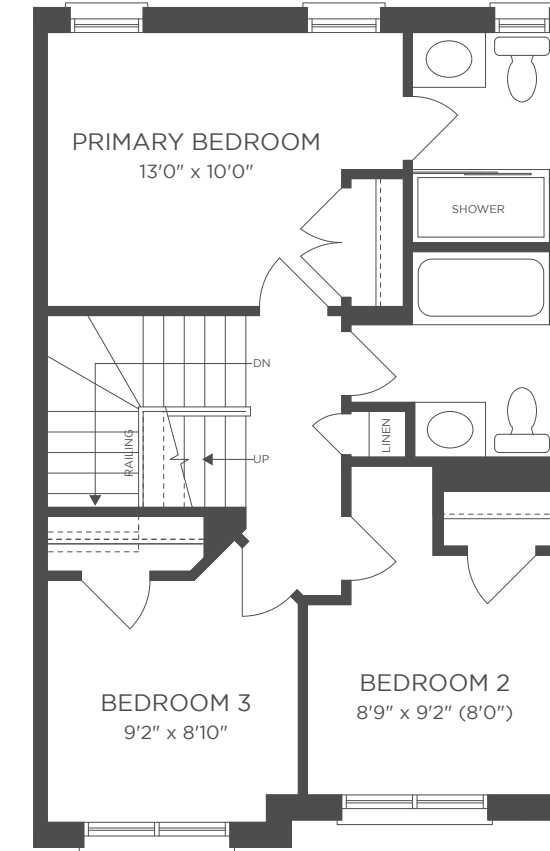
GROUND FLOOR - END UNIT



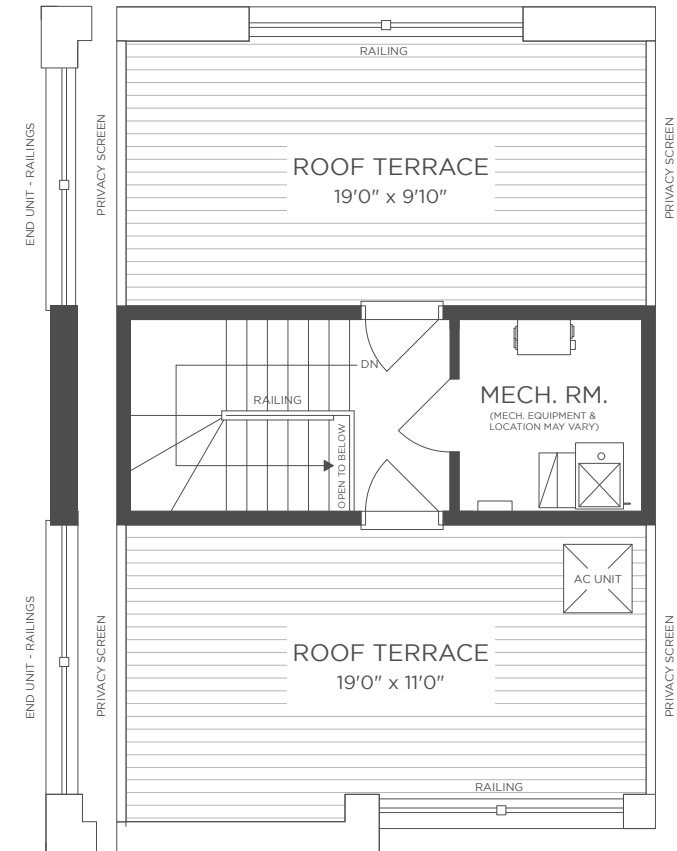
GROUND FLOOR



MAIN FLOOR



SECOND FLOOR



ROOFTOP TERRACE



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BRYNN

3 Bedroom | 2.5 Bathroom

INTERIOR UNIT

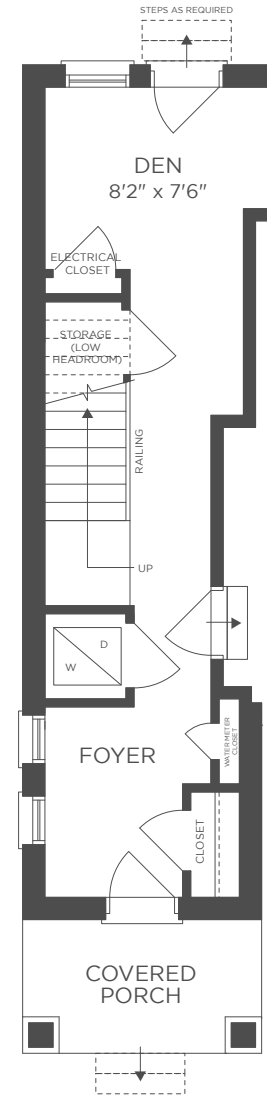
Suite	1923
Terrace	409
Total	2332 Square Feet

END UNIT

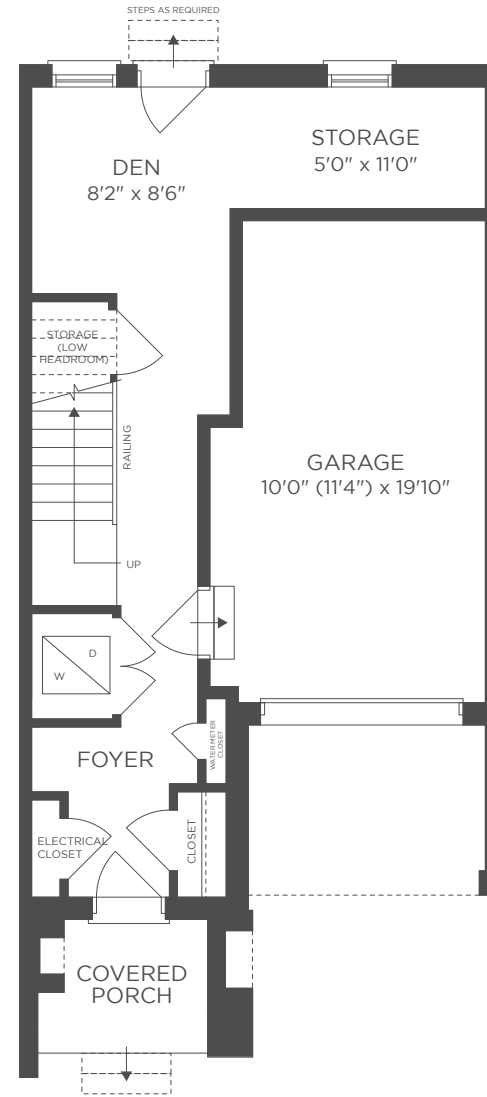
Suite	1975
Terrace	402
Total	2377 Square Feet



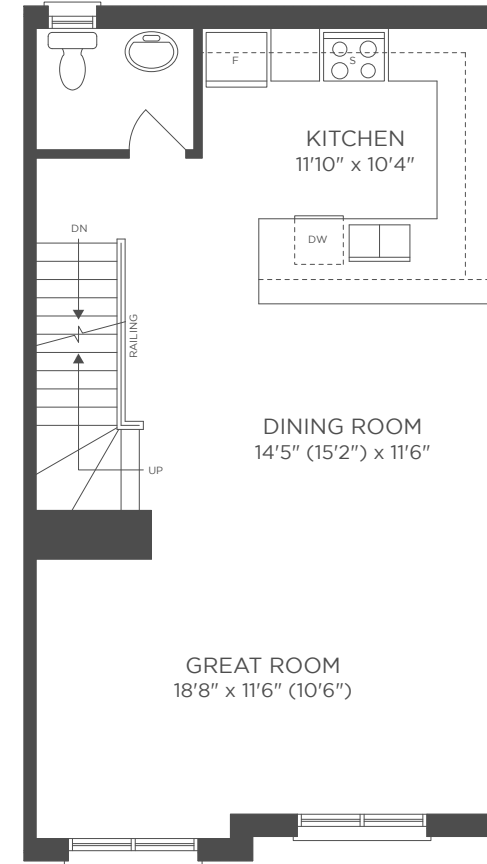
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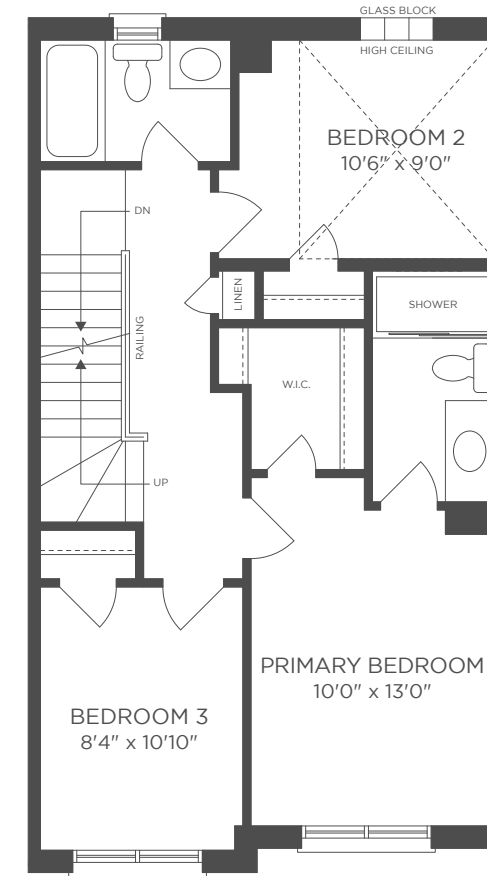
GROUND FLOOR - END UNIT



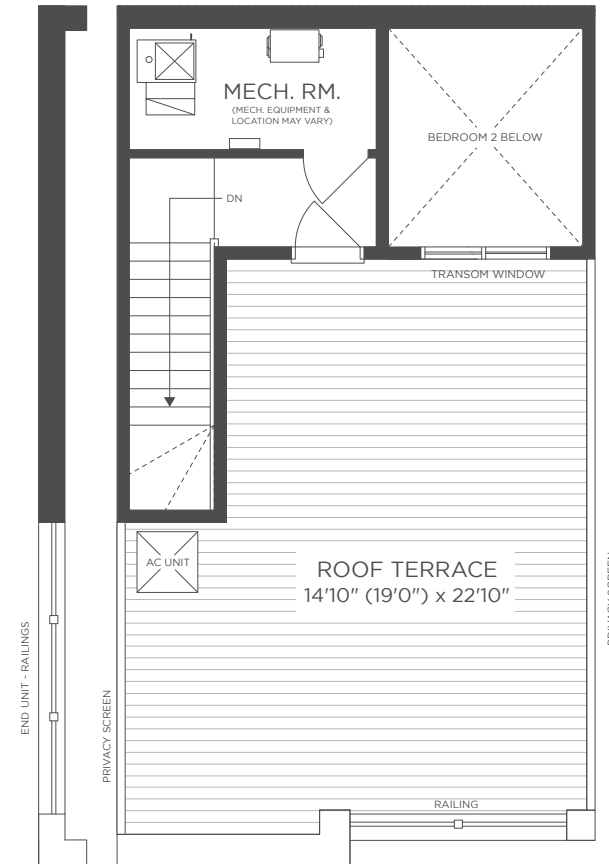
GROUND FLOOR



MAIN FLOOR



SECOND FLOOR



ROOFTOP TERRACE

WICKERSON, LONDON, ON



A DIFFERENT WAY OF LIVING

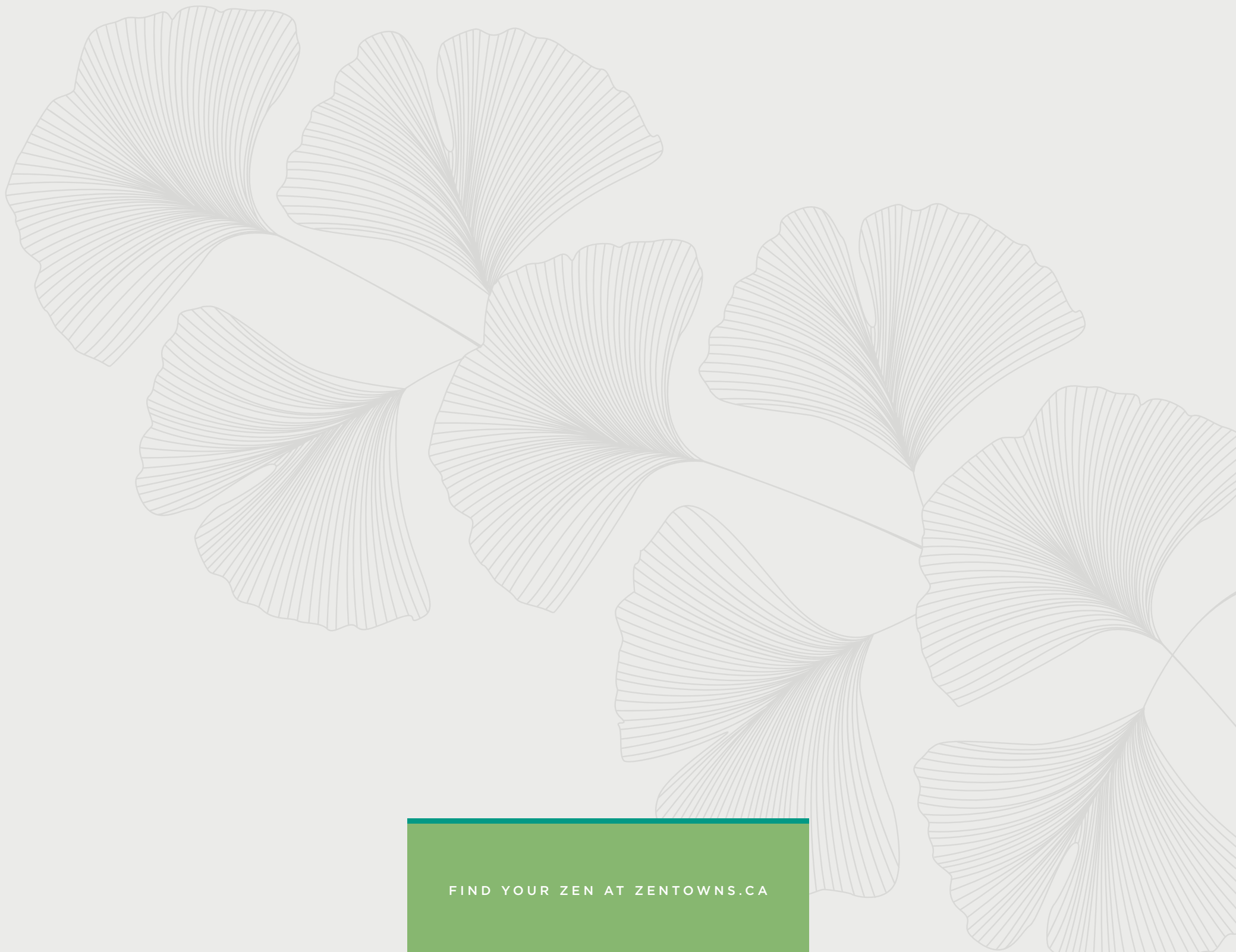
JD Development Group represents quality design, innovative processes and long-term value. With partners, investors, and customers in mind, they strategically convert desirable locations with high, untapped potential into thriving student, residential, mixed-use, and commercial developments.

PHILLIP SQUARE, WATERLOO, ON



WICKERSON, LONDON, ON





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